

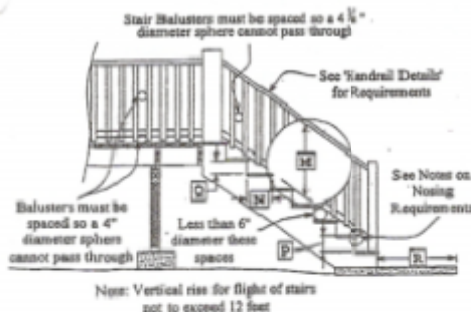
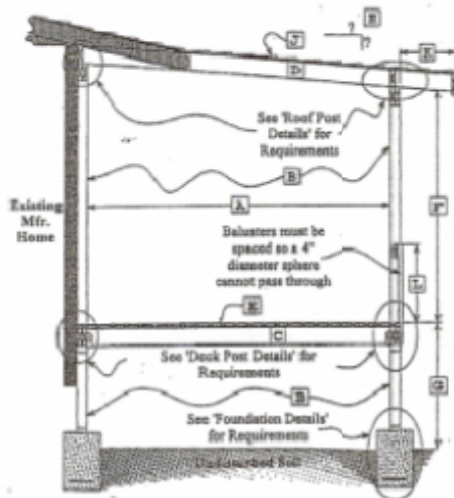


Manufactured Home: Patio Cover & Deck

Parcel/APN: _____

Site Address: _____

Fill in all information as may apply to your project. Size _____ x _____ (Total Roof Area)



Sectional and Stairs Detail

Site Snow Load: _____

Size	Notes
A	Span
B	Post Size - 4x4 Min. Spacing O.C. - Min. based on snow load
C	Joist Size - 2x6 Min. Spacing O.C. - Min. based on snow load
D	Rafter Size - 2x6 Min. Spacing O.C. - Min. based on snow load
E	Floor Material - 2x, plywood or other
F	Finished Deck Surface to rafters
G	Finished Deck Surface to Finished Grade
H	Slope - Minimum 1:12 - see note
I	Roofing Material
J	Underlayment - 2 layers 15# felt minimum Sheathing - Min. 1/2" OSB or Plywood - see note
K	Overhang - Maximum 24"
L	Minimum 36" high guardrail throughout
M	Handrail - 34" to 38" from nose to handrail
N	Run - 10" Minimum (>11" nosing not required)
O	Rise - 4" minimum and 7 1/4" maximum
P	Inside Riser Height - Can be open if less than 4"
Q	Landing - Minimum 36" with 2% slope max

General Notes

- Overhang can be no closer than 5 feet from a property line
- All Beam splices must occur over post with minimum 1 1/4" bearing
- Roofing to be installed per manufacturers instructions
- Nosing shall be 1/4"-1 1/4" on treads less than 10"
- Stairs and Landing must be minimum 36" wide
- Length of run and height of riser shall not vary more than 3/4"
- Asphalt shingles not allowed with slopes less than 2:12
- Snow loads with 45psf and greater require min. 1/2" OSB or Plywood

Property Owner:

Submitted by:

Official Use Only

VOID WITHOUT RED APPROVAL STAMP

This design may be used at the owner's risk as a minimum design in lieu of specific construction plans and engineering design furnished by the owner.
Final approval is subject to field inspection and compliance with all relevant codes, laws and ordinances. Requirements on this document based on 2003 IRC/IBC codes.
MH-PCDeck - 10/16/04 Rev. 1/7/2005 Approved by Advisory & Appeals Board 12/15/2004 Page 2 of 4



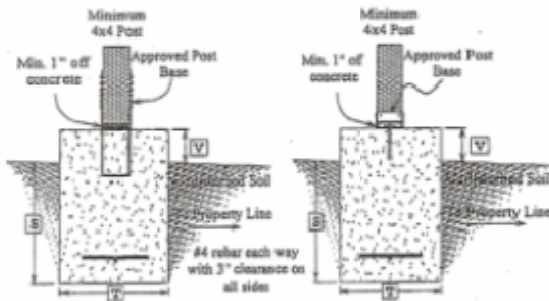
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Fill in all information as may apply to your project.

Size _____ x _____ (Total Roof Area)



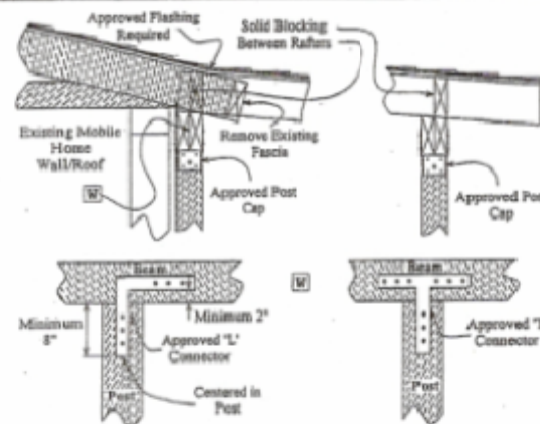
Foundation Details

Post Base: _____
(specific type)

Size	Notes
S	Min. based on snow load - see notes below
T	Min. based on snow load
V	Min. 8" without decay resistant post

General Notes

- Snow loads 20psf - 30psf require min. 12" deep footings
- Snow loads 40psf - 50psf require min. 18" deep footings



Roof Post Details

Post Cap: _____
(specific type)

Size	Notes
W	Beam - Min. based on snow load

General Notes

- See snow load charts to determine site snow load
- All fasteners/materials shall be installed per mfr. instructions
- Conventional framing allows for rafters to be toe-nailed to beam
- Solid blocking required between all rafters
- 18" minimum lap underlayment or metal flashing at change of slope

Property Owner:

Submitted by:

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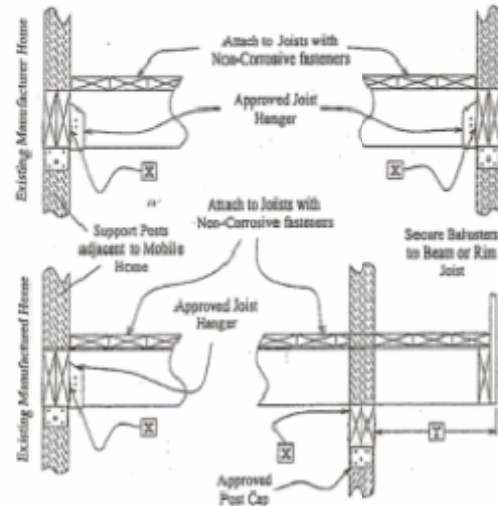


Manufactured Home: Patio Cover & Deck

Parcel/APN: _____

Site Address: _____

Fill in all information as may apply to your project. Size _____ x _____ (Total Roof Area)



Deck Post Details

Joist Hanger: _____
(specific type)

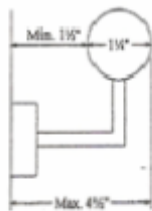
Post Cap: _____
(specific type)

Size	Notes
X	Beam - From 'Floor Beam Charts'
Y	Cantilever - Max. 24"

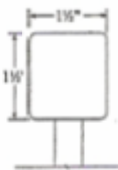
General Notes

- Other approved methods are acceptable given there is a continuous tie from foundation to roof line
- All fasteners/materials shall be installed per mfr. instructions
- If using a hanger, beam shall be equal or greater in depth than the floor joist
- Guardrail posts must be secured with min. (2) 1/4"x7 1/2" bolts
- Balusters must be secured with min. (2) 1/4"x4" bolts

Handrail with circular 1 1/2" minimum and 2" maximum Diameter



Handrail that is not circular must have a perimeter of 4" minimum and 6 1/4" maximum. Cross section shall not exceed 2 1/4"



Handrail Details

Proposed Handrail Detail:

General Notes

- Other methods must have graspable surface area which meets the given specifications to be approved - Draw Detail in space provided for pre-approval
- Handrails must be returned at ends to wall, newel posts or safety terminals

Property Owner:

Submitted by:

Official Use Only

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Approved by Advisory & Appeals Board 12/15/2004

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Yavapai County Development Services

PRESCOTT OFFICE
500 South Marina Street
Prescott, AZ 86303
(928) 771-3214
Fax (928) 771-3144

COTTONWOOD OFFICE
10 South 6th Street
Cottonwood, AZ 86326
(928) 639-8151
Fax (928) 639-3432

Single Family Residence: Room Addition

This handout may **NOT** be used as construction plans. This handout is designed as a **GUIDE** to illustrate details and requirements for construction plans.

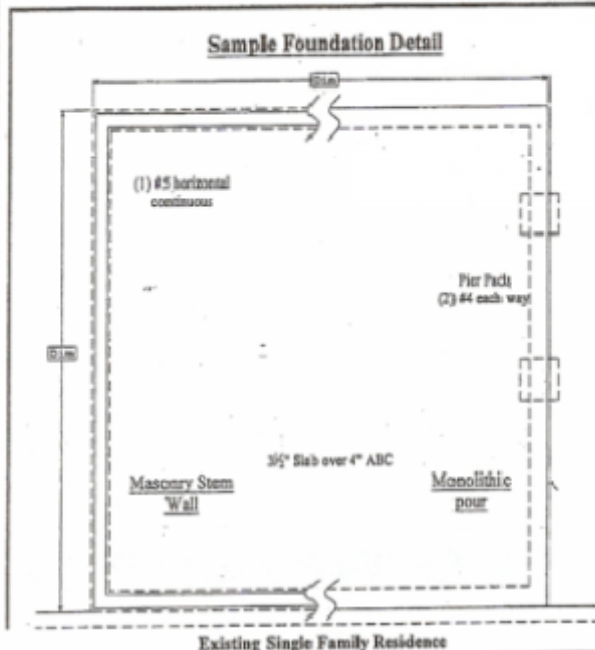
In addition to required information for a permit, you must also provide a plot plan (drawn to scale per land-use example), directions to site map and any additional information as required for your particular type of permit. Two (2) sets of construction plans drawn to scale (1/4"=1" preferred scale) on 18"x24" minimum size paper. Additional application forms and/or information may be required from environmental services and public works.

For purposes of this handout, a **ROOM ADDITION** shall be considered a habitable space attached to an existing single family residence. Room additions to a **MANUFACTURED HOME** shall be **SELF SUPPORTED** and walls of existing unit may not be modified.

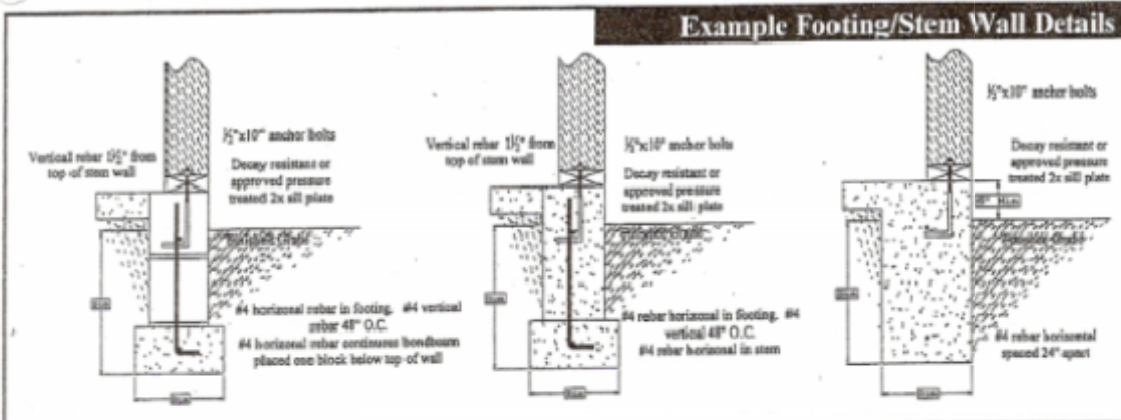
This handout is NOT designed for commercial projects. The sample details provided are intended only to be used as examples; other approved construction methods or materials may be used. Site specific conditions may require additional details not provided for by this handout. All construction plans subject to plan review and all construction subject to field inspection.



Single Family Residence: Room Addition



Example Foundation Detail
General Requirements <ul style="list-style-type: none"> Note location of existing slab and footing Note all dimensions Note slab size and fill material it will rest on Note all horizontal rebar requirements Note hold-downs used and their location Note size and rebar requirements for expanded pier pads
Notes <ul style="list-style-type: none"> Rebar must lap 30x diameter of rebar at all splices Hold-downs may be required where alternate braced panels are used Expanded pier pads may be required on bearing walls at concentrated loads from beams or girder trusses Drawing must be to scale – 1/4"=1' preferred Drawing shall be on 18"x24" minimum size paper



General Requirements
<ul style="list-style-type: none"> Note all rebar used including size, placement and spacing for vertical rebar Note finished grade line Note material used underslab Note all given dimensions
Notes
<ul style="list-style-type: none"> All rebar must have 3" clearance to earth on all sides All sill plates must have a min. of two anchor bolts (min. 1/2"x10") spaced no more than 6' O.C. and at least 12" from the ends All anchor bolts can be no closer than 3 1/2" from the ends of the sill plates

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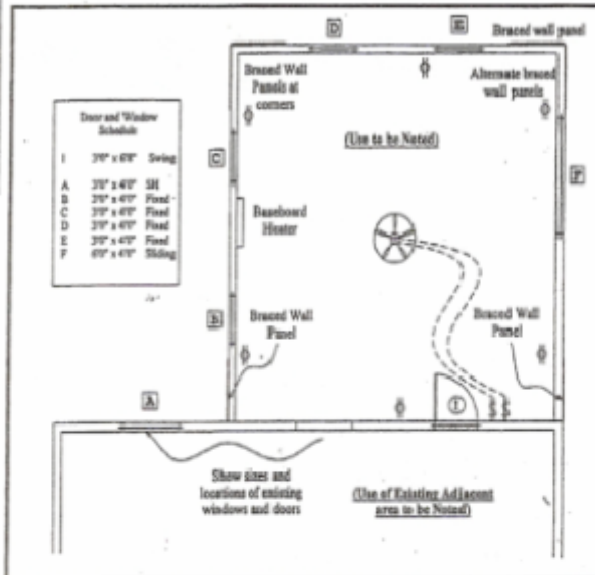
SFR-RoomAddition - 10/23/04 Rev. 1/7/2005

Approved by Advisory & Appeals Board 12/13/2004

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Single Family Residence: Room Addition



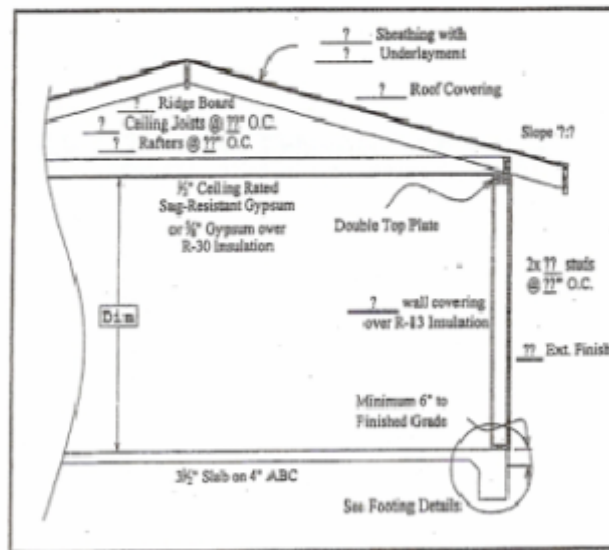
Example Floor Plan Detail

General Requirements

- Note all dimensions
- Note all electrical, plumbing and other mechanical equipment with location and all relevant information
- Include schedule for doors and windows
- Note exterior braced wall types and locations
- Note any modifications to existing structure

Notes

- Windows within 24" of a door swing must be tempered
- Rooms must meet minimum requirements regarding natural light and ventilation
- Habitable rooms must meet egress requirements
- GFCI outlets are required in kitchen, bathroom, garage and exterior locations
- Arc-fault circuit protection required for all electrical outlets within a bedroom
- Habitable rooms shall be provided with heating



Example Sectional Detail

General Requirements

- Note all relevant dimensions
- Note the roof slope
- Note underlayment, sheathing and roofing material
- Note all insulation and interior finish (gypsum, ect.)
- Note exterior finish (Siding, Stucco, ect.)
- Note size and spacing of wall construction
- Note size and spacing of rafters and rafter ties if using conventional roof framing, otherwise Truss Design Specification sheet **MUST** be supplied

Notes

- Ceiling height must be a minimum of 7'6"
- Cross venting in attic space required
- If attic space has 30" clearance, access is required
- Weep screed is required if using a Stucco finish - 2" clearance to concrete and 4" clearance to finished grade

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SFR-Room Addition - 10/23/04 Rev. 1/7/2005

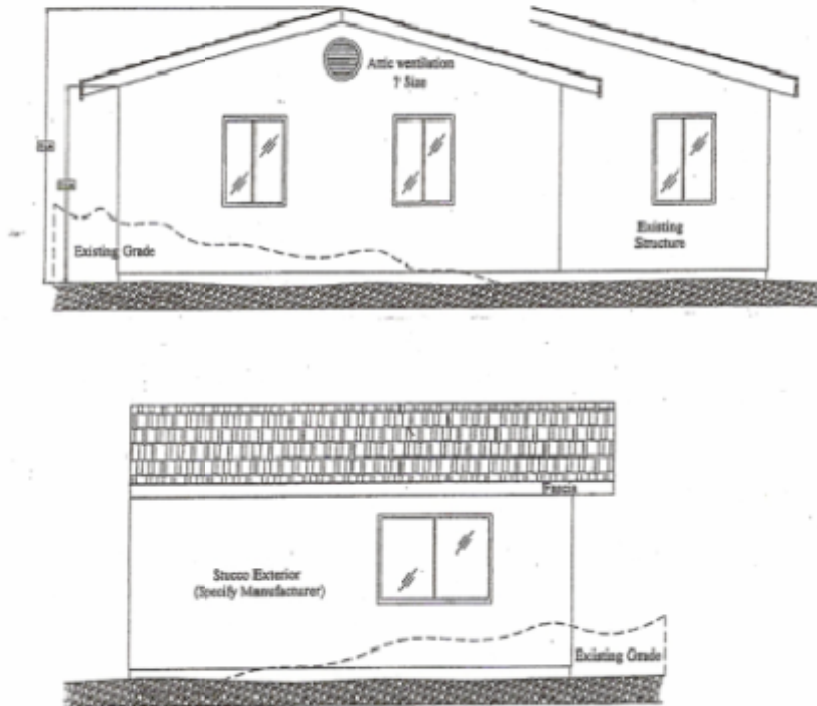
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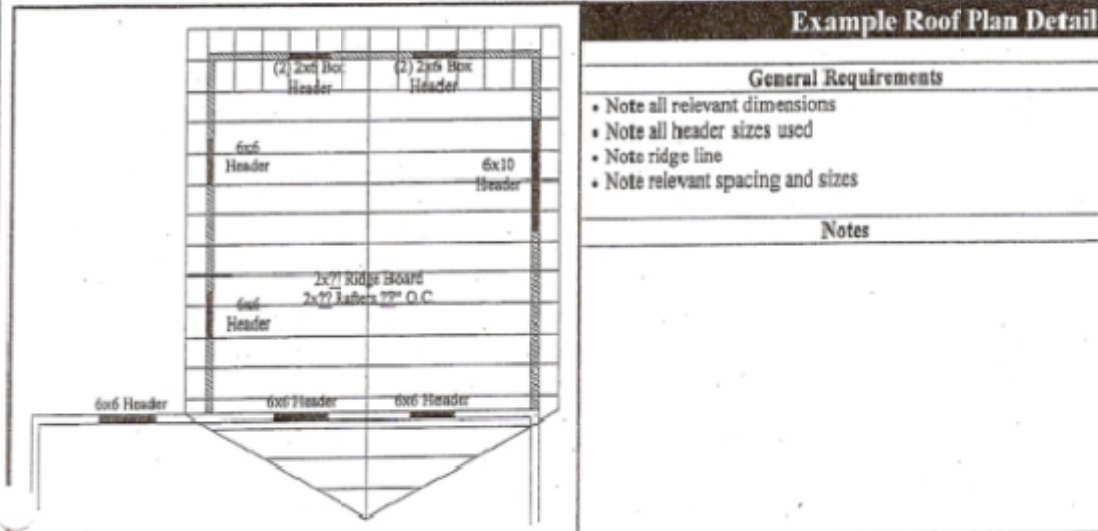


Single Family Residence: Room Addition

Example Side Detail



Example Roof Plan Detail



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SFR-Room Addition - 10/23/04 Rev. 1/7/2005

Approved by Advisory & Appeals Board 12/15/2004

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ONE AND TWO FAMILY DWELLING AND RESIDENTIAL ACCESSORY STRUCTURE PLAN REVIEW CRITERIA

All Residential Project Applications must contain the following:

1. Completed Building Permit Application Form
2. 8 1/2" X 11" Scaled Plot Plan per the Plot Plan Instruction List
3. Directions to Site Form
4. Residential Outdoor Lighting Permit Fact Sheet
5. Construction Drawings/Plans

All submittals shall be drawn in compliance with the 2003 International Residential code as adopted by Yavapai County. Any dwellings, which are designed to be constructed in a non-conventional manner beyond scope of the International Residential Code, shall be prepared by a registrant (Architect or Engineer) licensed in the State of Arizona.

TWO SETS OF PLANS ARE REQUIRED for submittal, prepared on a minimum of 18" x 24" paper and shall have a minimum scale of 1/4" per foot. All submittals shall show, in detail, the nature and extent of work proposed. *Upon review by the plans examiner, additional plans, calculations or details may be required.*

The minimum content requirements for plan submittals are as follows:

1. **Site Plan:** Show all existing and proposed buildings and structures, street fronts, alleys, easements, lot dimensions, utility locations, water, gas, sewer and electrical piping. Plan shall also include existing and proposed grades, building pad elevations, drainage, cut and fill amounts. An 8 1/2" x 11 plot plan shall be required in addition to the site plan.
2. **Foundation Plan:** Provide a complete foundation layout fully dimensioned with cross-sectional details of the foundation. Include stepped footing details and their location. If stem walls are used at varying heights, the locations and sizes must be noted on the foundation plan.
3. **Floor Plan:** Provide a complete floor plan for every floor, including the basement. This shall include, but not be limited to, use of the rooms, windows/door locations and sizes including safety glazing requirements, mechanical equipment locations, shear wall bracing locations and details, and any specifications for fire separations as adopted in the 2003 Yavapai County Administrative Code.
4. **Electrical Plan:** Show a complete electrical layout including electrical service and any sub panel locations. Indicate size of electrical service. If electrical service is over 200 amps, provide simplified load calculations. Show locations of smoke detectors.
5. **Roof Framing Plan:** Include all bearing header sizes over openings and their locations. A complete roof layout with proposed live and dead loads and any concentrated loads, such as HVAC equipment or any other imposed roof loads. Effective June 1, 2003, plans designed with engineered trusses MUST have two (2) sets of truss plans and calculations included with the initial plan submittal.
6. **Floor Framing Plan:** Include a complete floor-framing layout with all floor joist sizes, beam sizes and their locations. Indicate under floor access location and size and required under floor ventilation.
7. **Elevations:** Provide elevations of proposed building including all views. Include existing and finish grade lines on each elevation. Show or indicate method of premises identification.
8. **Framing Plan:** Provide a complete cross-section typical of the building, showing proposed materials to be used and how load path connections are to be achieved. Provide details for any framing connections that would not be typical of the cross-section.

Certificate of Occupancy is required prior to use or occupancy.

INSTRUCTIONS FOR DRAWING A PLOT/SITE PLAN

Plot Plans must be drawn in Black Ink to scale on the form provided and must include all of the following information: (8 1/2" X 11" form will be provided to you)

Site Plans must contain the following information and be drawn on the same size sheet as your construction drawings. (Minimum Paper Size is 18" X 24")

1. Property Dimensions
2. Indicate scale used (Engineer's Scale ONLY – Not Smaller than 1" = 60')
3. Indicate "North" with directional arrow
4. Proposed structure(s) with all dimensions, including POOLS
5. Existing structure(s) with all dimensions, including POOLS
6. Distance(s) between structures
7. Distances all structure(s) to all property lines
8. Description of each structure's use
9. Adjacent streets/roads
10. Location of driveway(s) and material used (i.e., gravel, concrete...)
11. Location, size, dimensions of septic system with leach area (show perc test holes, 100% expansion area [minimum distance from septic & leach], length & slope of outlet lines [5' minimum], distribution box/diversion valve, inspection pipe(s) length & number of leach lines [distance between trenches], degree of slope in leaching area, length & slope of building sewer lines, setbacks from property lines, buildings, wells, dry washes, other sewage systems, water lines) (Note: If individual wells provide water, maintain minimum septic setbacks of 50' from property lines and 100' from all wells including neighboring wells.)
12. Locations of all utility poles, meters, and lines
13. All easements regardless of purpose must be displayed
14. Slope information: slope information may be given in feet or percentage of slope
 - a. Indicate high and low point of lot if lot slopes
 - b. Indicate by arrows the direction of slope
 - c. Indicate how much difference there is in elevation (in feet) between high and low point.
15. Any watercourse(s) on the parcel or within 200 feet of existing or proposed structure(s); wells within 100 feet of the parcel; and road-cuts within 50 feet of the parcel (A watercourse is defined as any topographic feature that carries water periodically. Other appropriate terms might be wash, creek, river arroyo, slew or drainage way.)
16. Location of existing roadside ditches and road culverts with size
17. Layout of parking spaces, including handicapped, per use requirements (pertains to all except single family dwelling permits)
18. Signage must be identified but requires a separate permit
19. Location and type of exterior lighting
20. Location where orange "pre-issue" inspection card will be posted.
21. *Full size SITE PLAN must also include existing and proposed grades, building pad elevations, drainage, and, cut and fill amounts.*

Drainage Report/Plans (if required) must be in accordance with the Yavapai County Drainage Criteria Manual. (See the Flood Control District with any questions.)



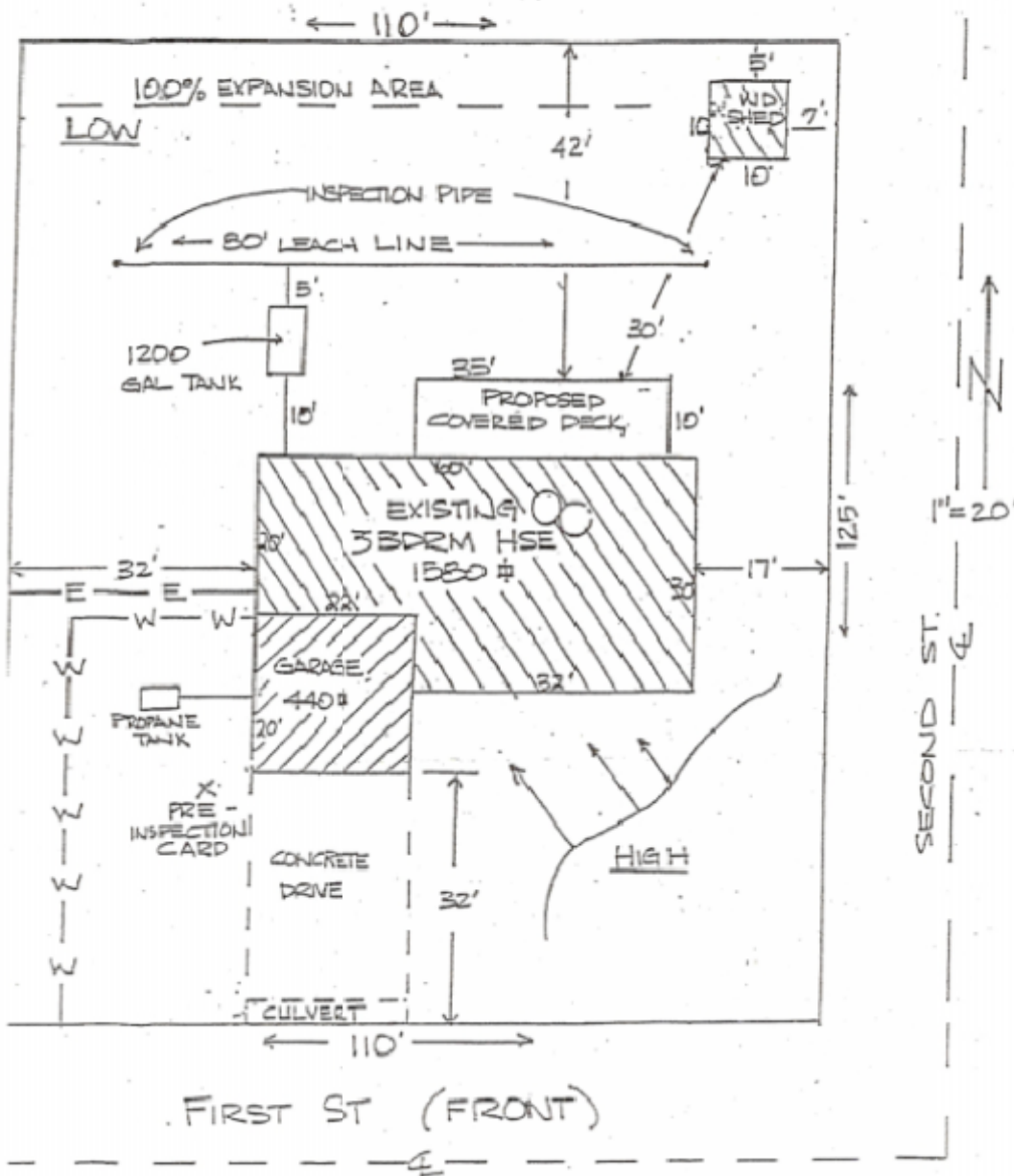
PLAT 123456789

Affidavit and E.P.A. Warning

I certify that this Plat Plan indicates all structures (including fences, walls and pools), correct property and building dimensions, setbacks, distances, legal access and easements, road cuts, width and/or any water course (including washes, etc.) on or within 50', 100' and 200' respectively of the property. Use of solder exceeding 0.2 of 1% lead is prohibited for use in potable water systems.

X Andrew Kelly 9/1/94
Signature Date

Scale: $\frac{1}{4}$ " = 10'
Height: 19'
Slope: 2%

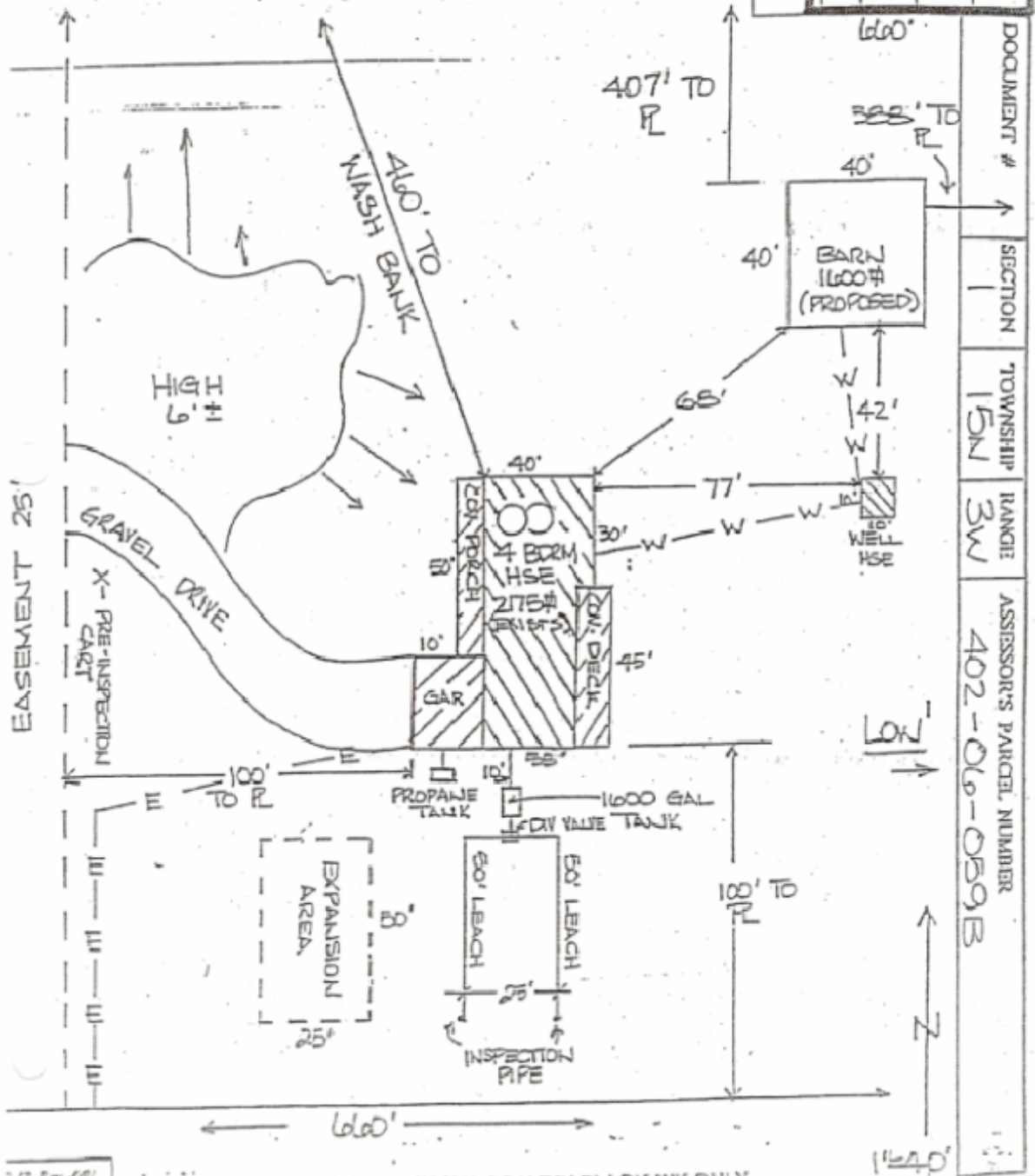


DOCUMENT # SECTION TOWNSHIP RANGE ASSESSOR'S PARCEL NUMBER
33 14N 2W 103-03-1003

12. ¹ and this Post Plan Initiative all structures (including fences, walls and pools), correct property and neighboring setback (distance) local access and crossing road cut, wells and/or any water containing machine, etc.) on or within 50', 100' and 200' respectively of the property. Use of solid and/or 1% load is prohibited for use in potable water systems.

DLS LA 1
 H₂O/C 15
 Slope 10

Andrew Kelly 9/1/94



713 Rev. 4/84

MUST BE DRAWN TO SCALE IN BLACK INK ONLY